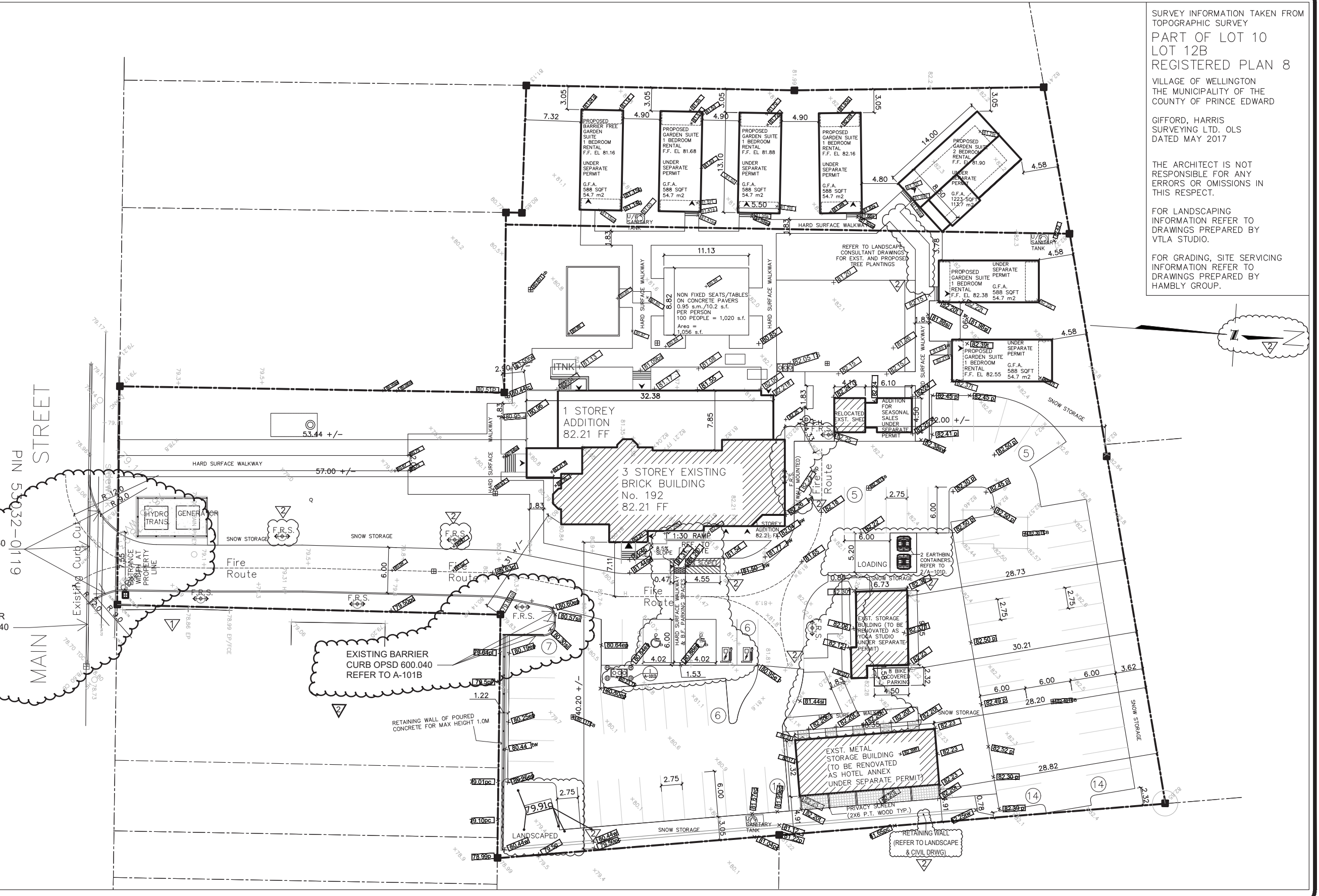


LEGEND OF SYMBOLS

- DENOTES FIRE HYDRANT
- DENOTES FIRE EXIT
- DENOTES MAIN ENTRANCE
- DENOTES CATCH BASIN
- DENOTES MANHOLE
- DENOTES AREA DRAIN
- DENOTES UTILITY POLE
- DENOTES EXST. TREE
- EXISTING GRADE ELEVATION
- PROPOSED NEW ELEVATION
- GRADE SLOPE DIRECTION WITH PERCENTAGE
- IRON BAR (EXISTING)
- IRON BAR (PROPOSED)
- FIRE ROUTE SIGNAGE
- 200mm REINFORCED CONCRETE PAD (REF. TO CIVIL DWGS)
- (F.E.) PRINCIPAL FIRE FIGHTER ENTRANCE
- 2x2 PRECAST CONCRETE PAVERS
- PARKING STALL WITH ELECTRIC CAR CHARGING STATION
- GREASE SEPARATOR

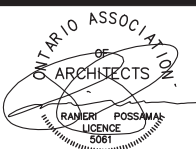


SURVEY INFORMATION TAKEN FROM TOPOGRAPHIC SURVEY
 PART OF LOT 10
 LOT 12B
 REGISTERED PLAN 8
 VILLAGE OF WELLINGTON
 THE MUNICIPALITY OF THE COUNTY OF PRINCE EDWARD
 GIFFORD, HARRIS SURVEYING LTD. OLS
 DATED MAY 2017
 THE ARCHITECT IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS RESPECT.
 FOR LANDSCAPING INFORMATION REFER TO DRAWINGS PREPARED BY VTLA STUDIO.
 FOR GRADING, SITE SERVICING INFORMATION REFER TO DRAWINGS PREPARED BY HAMBLY GROUP.



1 FIRE ROUTE SIGNAGE
 A-101 SCALE N.T.S.

GLOBAL architect inc
 6 Leswyn Road
 Toronto, Ontario, M6A 1K2
 tel (416)256-4440
 fax (416)256-4449



| | |
|------------|--------------------|
| DATE | ISSUED FOR |
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| 06/20/2022 | SPA RESUBMISSION |
| 04/26/2023 | SPA RESUBMISSION |

WELLINGTON HOTEL
 192 MAIN STREET
 WELLINGTON, ONTARIO

| | |
|------------|--------------|
| DRAWN BY | DATE OF PLOT |
| D.Q. | NOV. 19 2021 |
| CHECKED BY | SCALE |
| P.P. | 1:500 |

DWG. TITLE
SITE PLAN

PROJECT NO.
20-06

A-101

LEGEND OF SYMBOLS

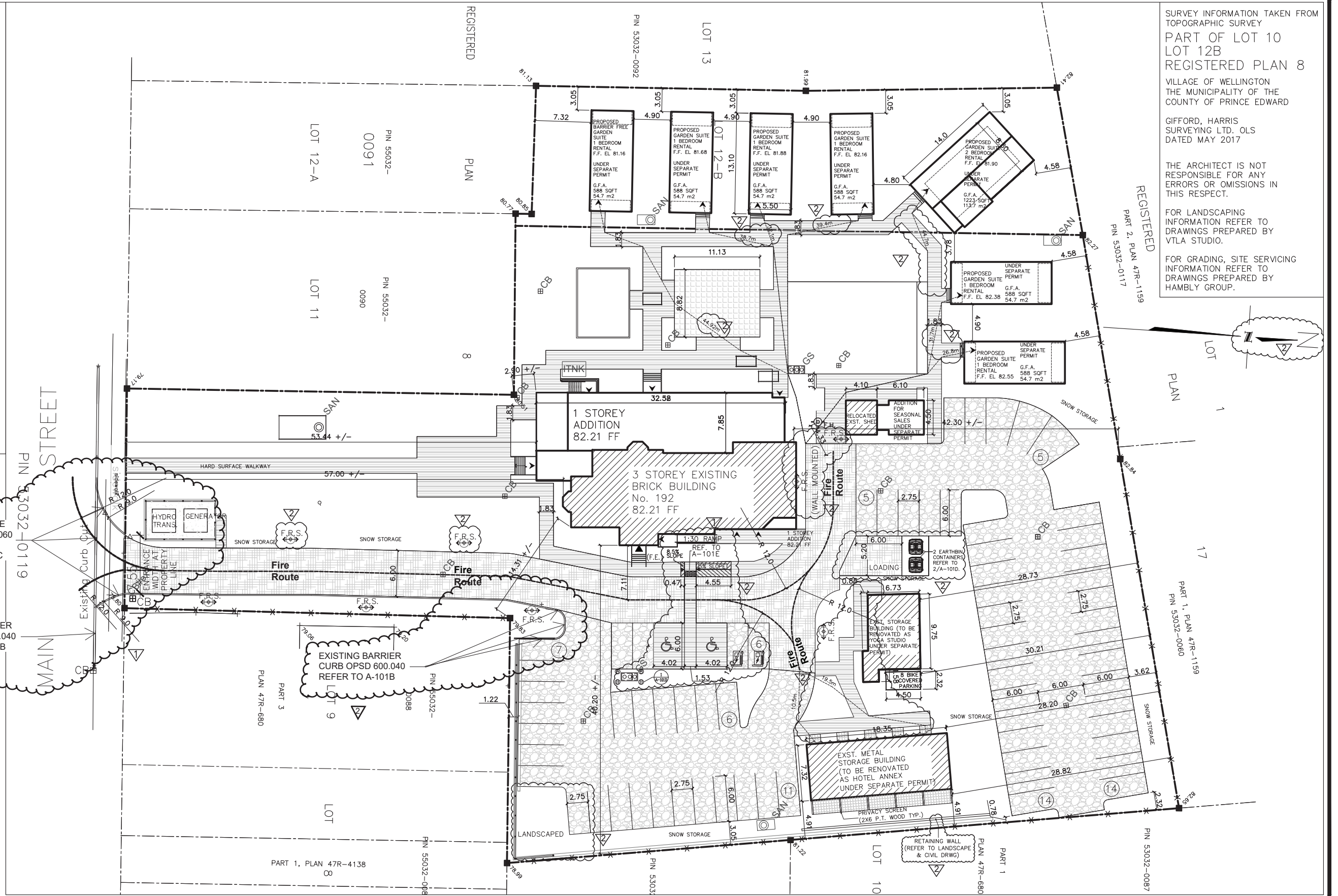
- HEAVY DUTY ASPHALT PAVING
(50mm HL3, 50mm HL4,
150mm GRANULAR 'A'
300mm GRANULAR 'B')
- 2x2 PRECAST CONCRETE PAVERS
- HARD SURFACE WALKWAY
- R.A.P. (RECLAIMED ASPHALT
PAVEMENT)
- DENOTES FIRE HYDRANT
- DENOTES FIRE EXIT
- DENOTES MAIN ENTRANCE
- DENOTES CATCH BASIN
- EXISTING GRADE ELEVATION
- IRON BAR (EXISTING)
- F.R. FIRE ROUTE SIGNAGE
- (F.E.) PRINCIPAL FIRE FIGHTER ENTRANCE
- PARKING STALL WITH
ELECTRIC CAR CHARGING STATION
- GREASE SEPARATOR



SEMI-MOUNTABLE CURB OPSD 600.060 ACROSS ENTRY REFER TO A-101C

EXISTING BARRIER CURB OPSD 600.040 REFER TO A-101B

1 FIRE ROUTE SIGNAGE
A-101 SCALE N.T.S.



SURVEY INFORMATION TAKEN FROM TOPOGRAPHIC SURVEY
PART OF LOT 10
LOT 12B
REGISTERED PLAN 8
VILLAGE OF WELLINGTON
THE MUNICIPALITY OF THE
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INFORMATION REFER TO
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FOR GRADING, SITE SERVICING
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ONTARIO ASSOCIATION
OF ARCHITECTS
REGISTERED PROFESSIONAL
ARCHITECT
LICENSE 5061

| | |
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| 04/26/2023 | SPA RESUBMISSION |

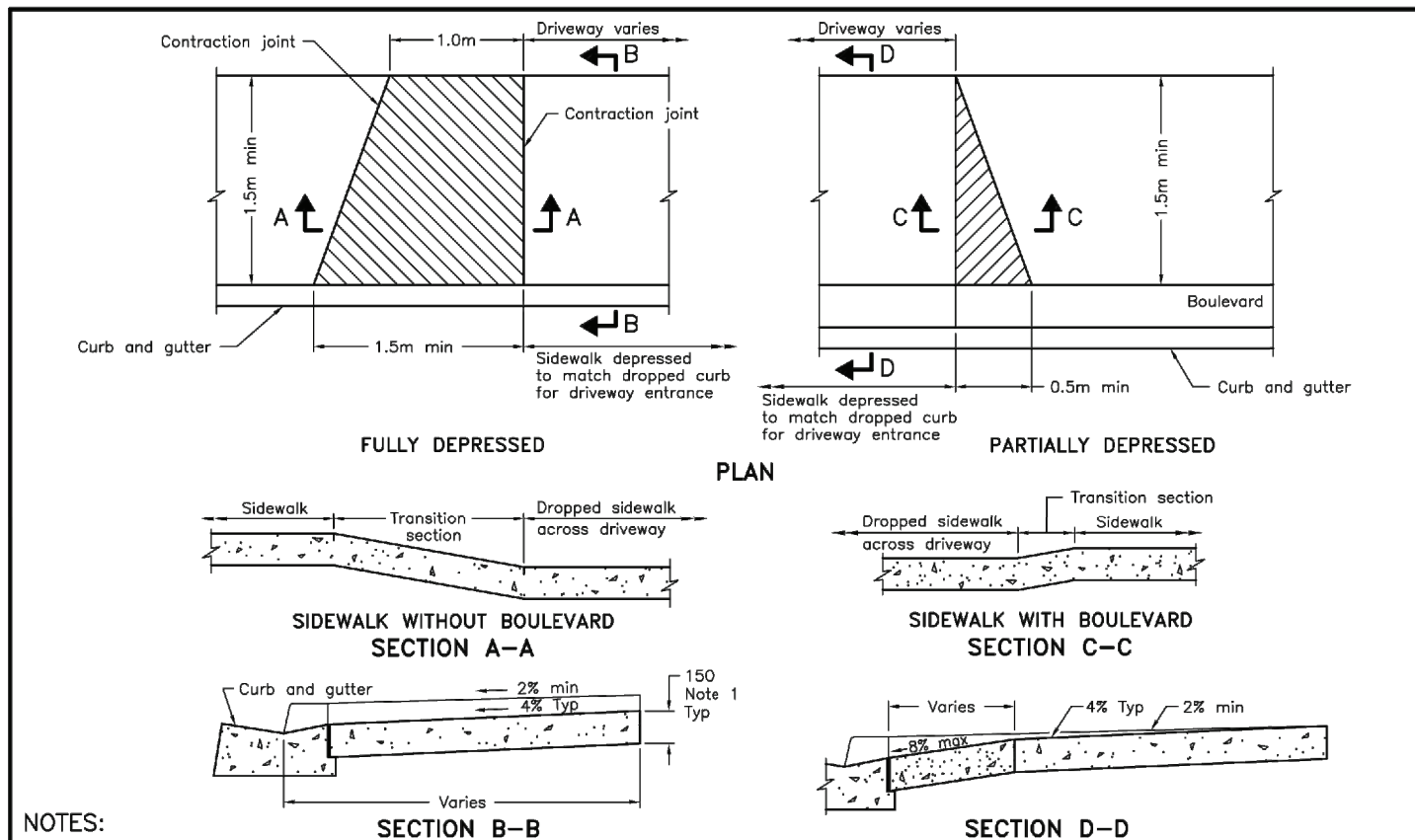
WELLINGTON HOTEL
192 MAIN STREET
WELLINGTON, ONTARIO

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| DRAWN BY | DATE OF PLOT |
| D.Q. | NOV. 19 2021 |
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| P.P. | 1:500 |

DWG. TITLE
FIRE ROUTE PLAN

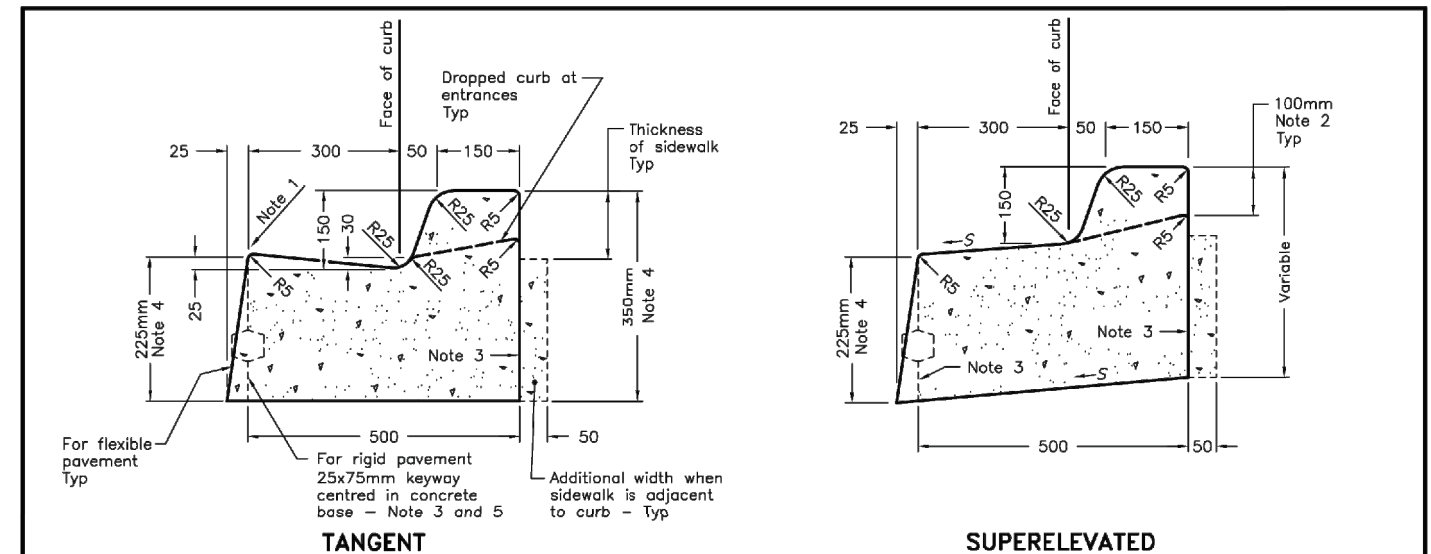
PROJECT NO.
20-06

A-101A



NOTES:
 1 At commercial and industrial driveways, the thickness shall be 200mm.
 A For contraction joint detail, see OPSD 310.010.
 B All dimensions are in millimetres unless otherwise shown.

| | | | |
|--|----------|-------|--|
| ONTARIO PROVINCIAL STANDARD DRAWING | Nov 2019 | Rev 3 | |
| CONCRETE SIDEWALK DRIVEWAY ENTRANCE DETAILS | | | |
| OPSD 310.050 | | | |

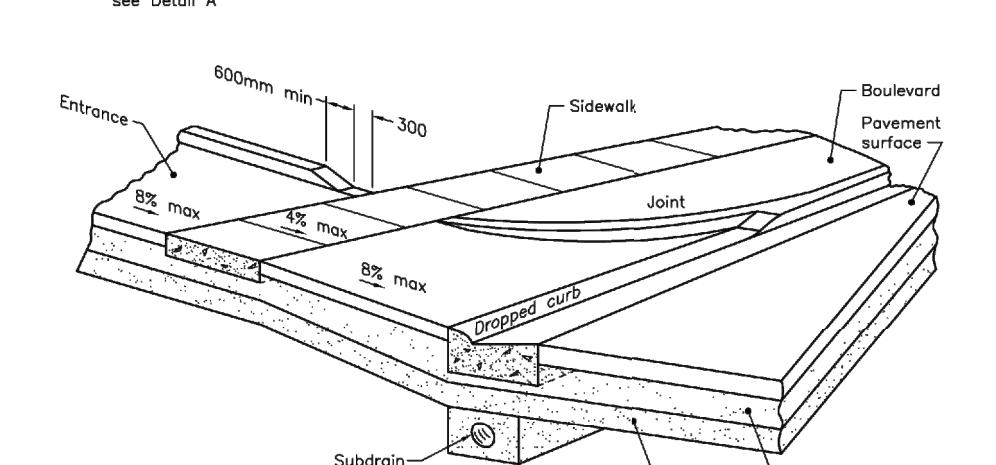
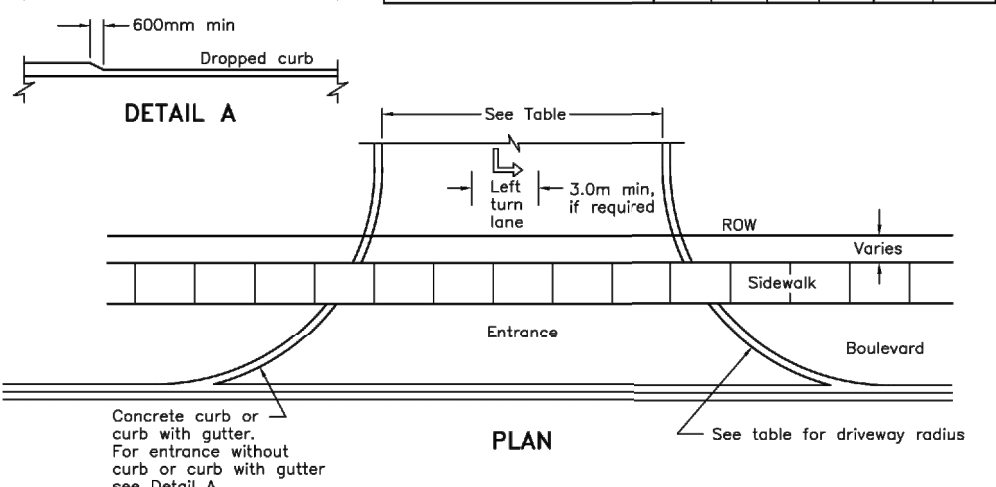


LEGEND:
 S - Rate of pavement super-elevation in percent, %.

NOTES:
 1 Flexible and composite pavement shall be placed 5mm above the adjacent edge of gutter.
 2 When sidewalk is continuously adjacent, the dropped curb at entrances shall be reduced to 75mm.
 3 For slipforming procedure a 5% batter is acceptable.
 4 For composite pavement the depth of concrete curb shall be adjusted to depth of concrete pavement.
 5 When tie bars are specified, refer to OPSD 552.010 and 552.020 for details.
 A Treatment at entrances shall be according to OPSD 351.010.
 B Outlet treatment shall be according to the OPSD 610 Series.
 C The transition from one curb type to another shall be a minimum length of 3.0m, except in conjunction with guide rail where it shall be according to the OPSD 900 Series.
 D All dimensions are in millimetres unless otherwise shown.

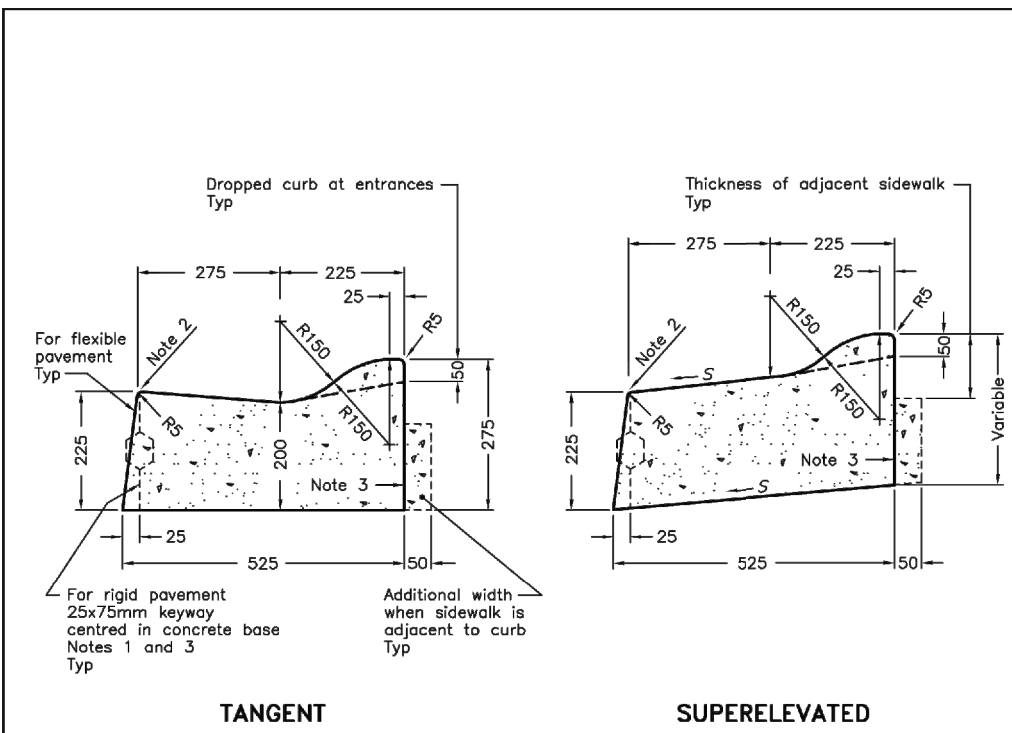
| | | | |
|---|----------|-------|--|
| ONTARIO PROVINCIAL STANDARD DRAWING | Nov 2012 | Rev 2 | |
| CONCRETE BARRIER CURB WITH STANDARD GUTTER | | | |
| OPSD 600.040 | | | |

| LAND USE | DRIVEWAY DIMENSIONS | | | | | |
|--|---------------------|-----|---------|------|-------------|------|
| | WIDTH m | | | | RADIUS m | |
| | One-Way | | Two-Way | | min | max |
| Light Industrial, Commercial, and Apartment | 4.5 | 7.5 | 7.2 | 12.0 | 4.5 | 12.0 |
| Heavy Industrial | 5.0 | 9.0 | 9.0 | 15.0 | 9.0 | 15.0 |



NOTES:
A All dimensions are in millimetres unless otherwise shown.

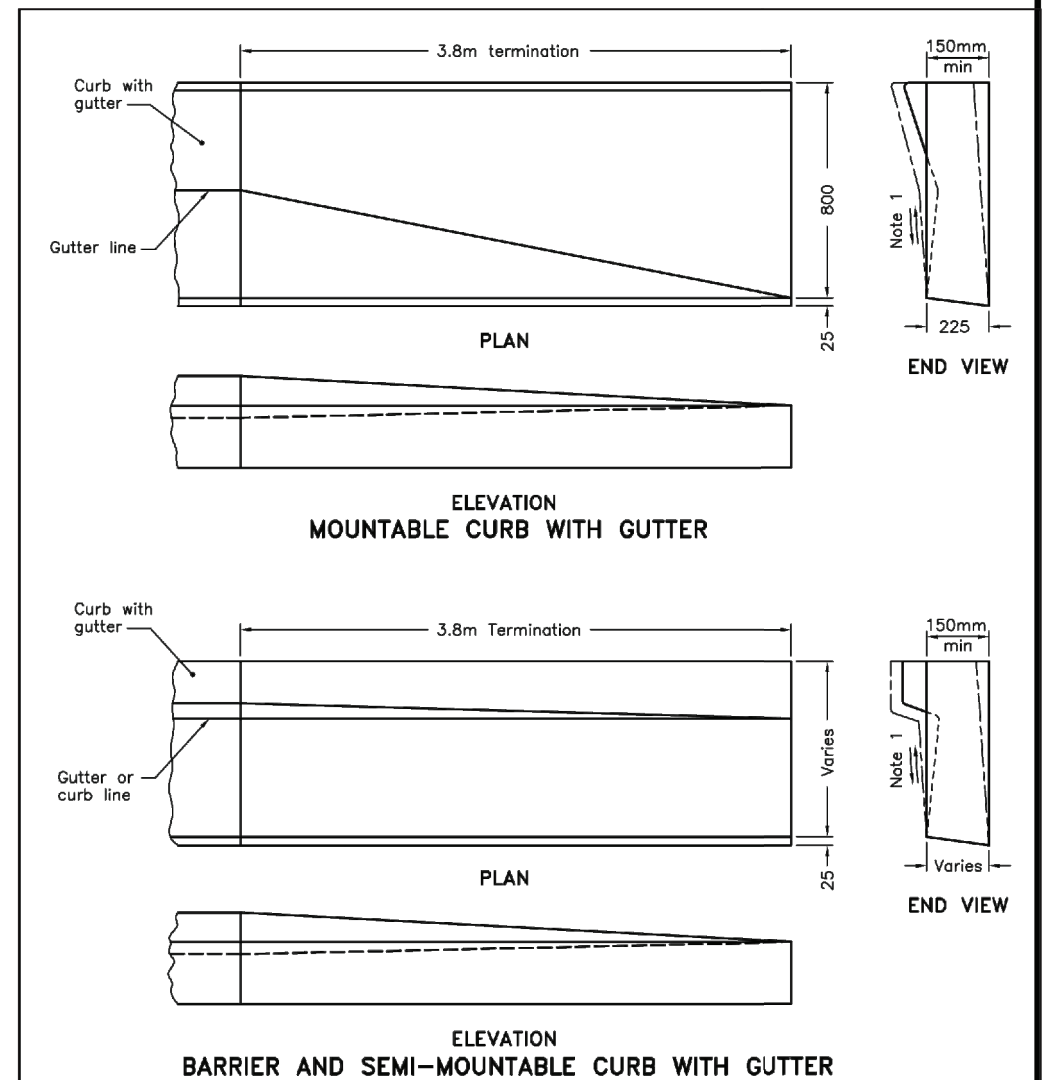
| | | | |
|---|--------------|-------|--|
| ONTARIO PROVINCIAL STANDARD DRAWING | Nov 2018 | Rev 2 | |
| URBAN INDUSTRIAL, COMMERCIAL, AND APARTMENT ENTRANCES | | | |
| | OPSD 350.010 | | |



LEGEND:
S - Rate of pavement superelevation in percent, %.

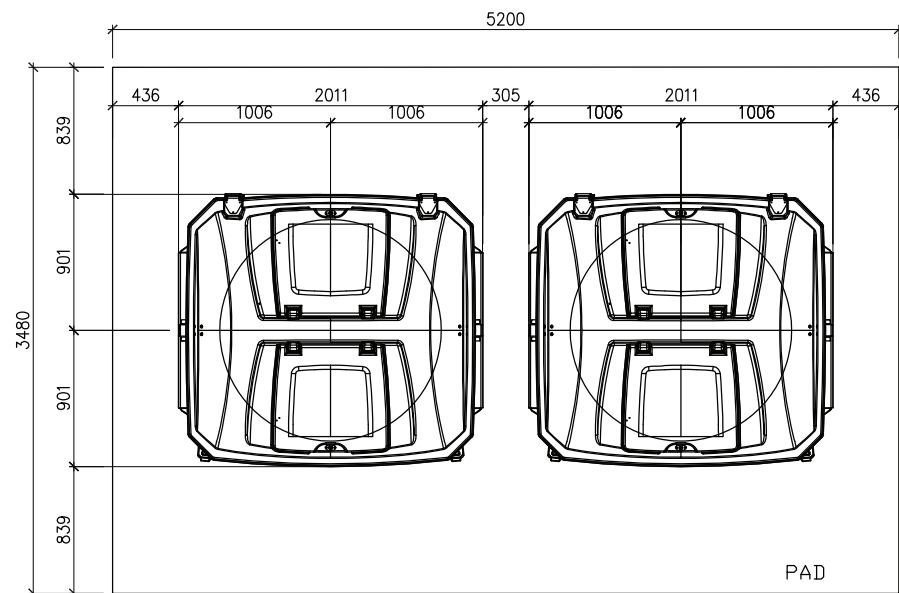
NOTES:
1 When curb and gutter is adjacent to concrete pavement or base, this drawing shall be used in conjunction with OPSD 552.010 and 552.020.
2 Flexible and composite pavement shall be placed 5mm above the adjacent edge of gutter.
3 For slipforming procedure a 5% batter is acceptable.
A Treatment at entrances shall be according to OPSD 351.010.
B Outlet treatment shall be according to the OPSD 610 Series.
C The transition from one curb type to another shall be a minimum length of 3.0m, except in conjunction with guide rail where it shall be according to the OPSD 900 Series.
D All dimensions are in millimetres unless otherwise shown.

| | | | |
|---|--------------|-------|--|
| ONTARIO PROVINCIAL STANDARD DRAWING | Nov 2012 | Rev 2 | |
| CONCRETE SEMI-MOUNTABLE CURB WITH STANDARD GUTTER | | | |
| | OPSD 600.060 | | |

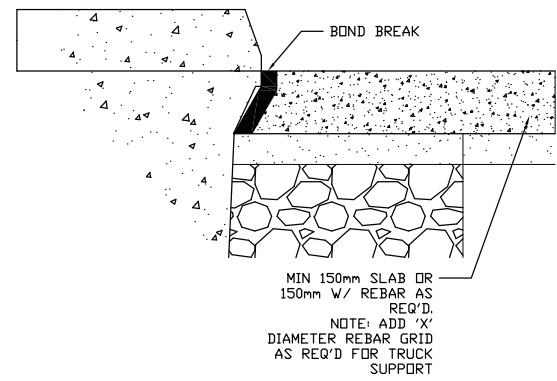


NOTES:
1 Slope shall match existing shoulder.
A This drawing shall be read in conjunction with OPSD 600 series curb with gutter drawings.
B All dimensions are in millimetres unless otherwise shown.

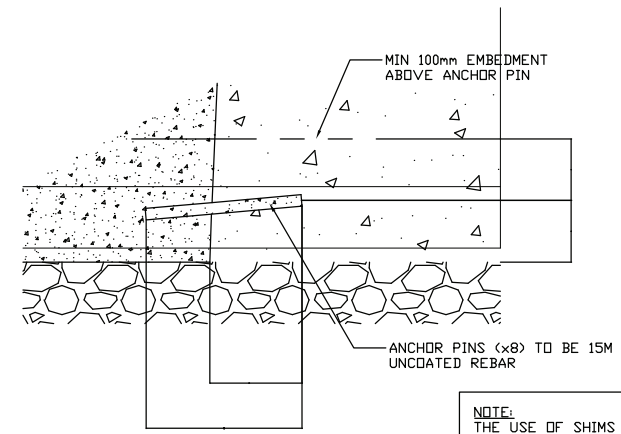
| | | | |
|---|--------------|-------|--|
| ONTARIO PROVINCIAL STANDARD DRAWING | Nov 2012 | Rev 2 | |
| METHOD OF TERMINATION FOR CONCRETE CURB WITH GUTTER | | | |
| | OPSD 608.010 | | |



NOTE:
CONTRACTOR TO ENSURE ADEQUATE SPACE TO PHYSICAL BARRIER OR OBSTRUCTION TO ALLOW BIN TO BE PICKED UP.

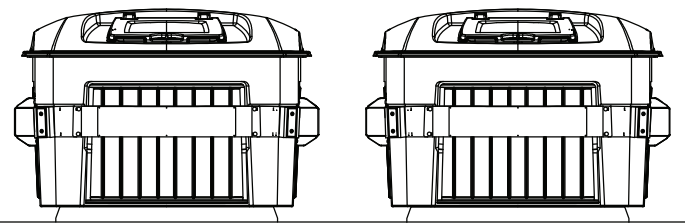


2
A2
15
SLEEVE DETAIL A

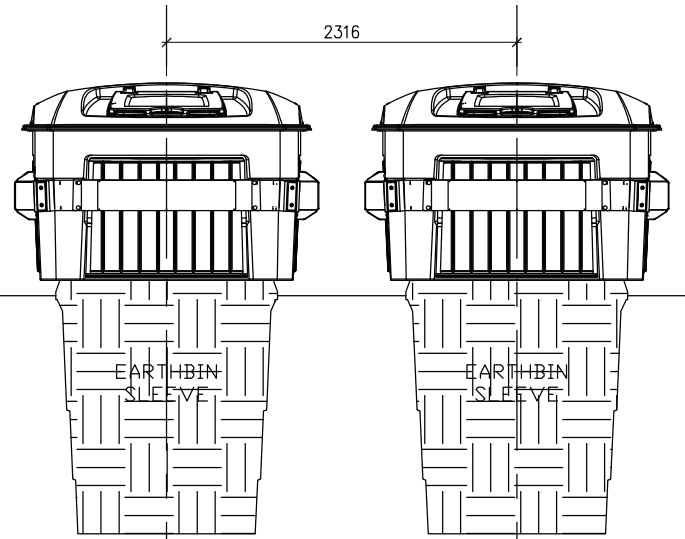


3
A2
15
SLEEVE DETAIL B

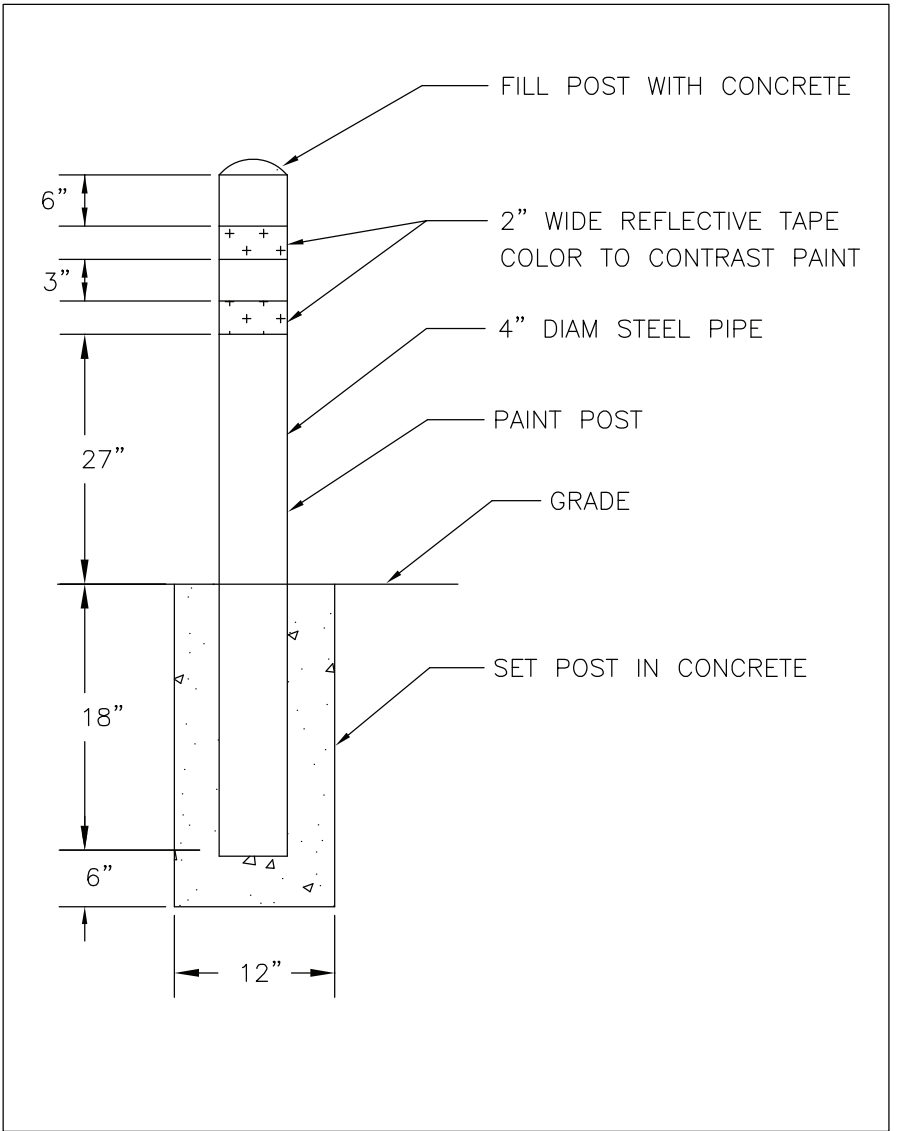
NOTE:
THE USE OF SHIMS TO SET SLEEVE PRIOR TO POURING CONCRETE IS ALLOWED.



1
A1
TYP. PLAN & ELEV VIEW - 2 BINS
AS NOTED



2
A1
ELEVATION VIEW OF BINS
AS NOTED



1
A-101D
TYPICAL BOLLARD DETAIL
SCALE 1:20

2 "EARTHBIN" DETAILS
A-101D SCALE 1:50

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| | |
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| DATE | ISSUED FOR |
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| 06/20/2022 | SPA RESUBMISSION |
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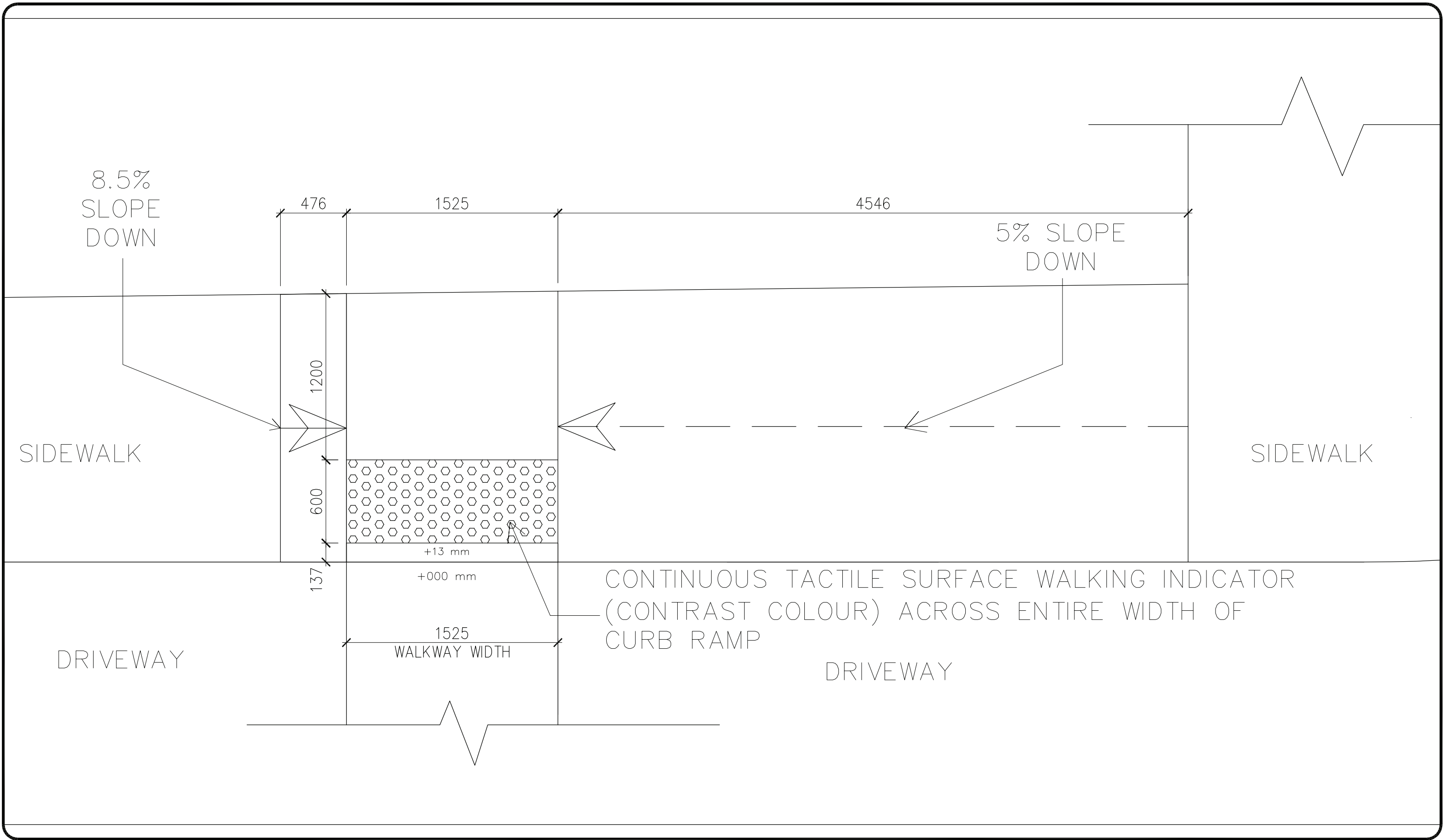
DRAWN BY
D.Q.
CHECKED BY
P.P.

DATE OF PLOT
NOV. 19 2021
SCALE
1:50

DWG. TITLE
EARTHBIN DETAILS

PROJECT NO.
20-06

A-101D



SUMMARY OF AREAS (Site)

Site 2.25 Acres / 98,101 s.f.
0.91 ha / 9,113.8 s.m.

Building G.F.A.
(footprint)

| | |
|--|-----------------------------------|
| EXST. Main Building | 3,289 s.f. +/- / 305.6 s.m. +/- |
| 1 Storey Addition | 2,995 s.f. +/- / 278.2 s.m. +/- |
| EXST. Metal Garage Bldg. (PROP. Yoga Studio Reno.) | 764 s.f. +/- / 71.0 s.m. +/- |
| EXST. Metal Storage Bldg. (PROP. Hotel Annex Reno.) | 1444 s.f. +/- / 134.2 s.m. +/- |
| Seasonal Sales (Exst. Shed) | 196 s.f. +/- / 18.3 s.m. +/- |
| Seasonal Sales Addition | 274 s.f. +/- / 25.5 s.m. +/- |
| Garden Suites (7) | 5,950 s.f. +/- / 552.8 s.m. +/- |
| TOTAL BUILDING (footprint) | 14,912 s.f. +/- / 1385.4 s.m. +/- |

Coverage = 15.2%

SUMMARY OF AREAS
(Main Building)

FLOOR AREA G.F.A.

| | |
|----------------------------|---|
| Ground Floor (existing) | 3,289 s.f. +/- / 305.6 s.m. +/- |
| Addition | 2,995 s.f. +/- / 278.2 s.m. +/- |
| Second Floor (existing) | 1,977 s.f. +/- / 183.7 s.m. |
| Addition | 137 s.f. +/- / 12.8 s.m. +/- |
| Third Floor (existing) | 1,178 s.f. +/- / 109.5 s.m. |
| Addition | 936 s.f. +/- / 87.0 s.m. +/- |
| Total | 10,512 +/- s.f. / 976.8 +/- s.m. |

| | |
|---------------------------------------|------------------------------|
| Exst. Basement Floor (excluded) | 2,199 s.f. +/- / 204.3 s.m. |
| Basement Floor Addition (excluded) | 2,862 s.f. +/- / 265.9 s.m. |
| Belvedere Stair Hall (excluded) | 130.6 s.f. +/- / 12.2 s.m. |
| Belvedere Vestibule (excluded) | 70.0 s.f. +/- / 6.6 s.m. +/- |
| Dining Room Patio (excluded) | 323.0 s.f. +/- / 30.0 s.m. |

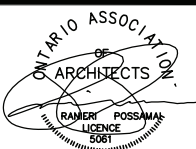
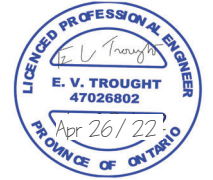
Parking Required

- Restaurant (Including Patio) – 1 space per 97 s.f. / 9.0 s.m.
– 2267 s.f. = 24 spaces
- Restaurant (Outdoor Dining Space) – 1 space per 97 s.f. / 9.0 s.m.
– 1056 s.f. = 11 spaces
- Lobby/Lounge – 1 space per 97 s.f. / 9.0 s.m.
– 850 s.f. = 6 spaces
- Hotel – 1 space per Bedroom = 6 spaces
- Bedroom Suite 7 – 1 space per Bedroom = 1 space
- Belvedere – 1 space per 97 s.f. / 9.0 s.m.
– 293 s.f. = 3 spaces
- Seasonal Sales – 1 space per 200 s.f. / 18.5 s.m.
– 470 s.f. = 3 spaces
- Garden Suites – 1 space per Garden Suite = 7 spaces
- Hotel Annex – 1 space per bedroom = 5 spaces

Parking Required = 58 spaces minimum (per bylaw 2018–2006 section 18.6.37.)

Parking Provided = 68 Spaces

| ONTARIO BUILDING CODE DATA MATRIX | | | | |
|---|---|---------------------------------------|-------------------------|---|
| PART 3 - FIRE PROTECTION, OCCUPANT SAFETY AND ACCESSIBILITY | | | | |
| Name of Practice Global Architect Inc. | | | | |
| Address 1 6 Leswyn Road, Toronto, Ontario M6A 1K2 | | | | |
| Address 2 | | | | |
| Contact Paolo Pivetta | | | | |
| Name of Project Wellington Hotel | | | | |
| Location/Address 192 Main Street, Wellington, Ontario | | | | |
| Date 12-Nov-21 Seal & Signature | | | | |
| 3.00 BUILDING CODE VERSION | O Reg. 332/12 | LAST AMENDMENT O Reg. 191/14 | | |
| 3.01 PROJECT TYPE | Addition and Renovation | | | [A] 1.1.2. |
| 3.02 MAJOR OCCUPANCY CLASSIFICATION | OCCUPANCY | USE | 3.1.2.1.(1) | |
| | D Business & Personal Services | Spa (Basement) | | |
| | A2 Other assembly occupancies | Restaurant (Ground Floor) | | |
| | C Residential | Hotel (2nd and 3rd Floors) | | |
| 3.03 SUPERIMPOSED MAJOR OCCUPANCIES | N/A | 3.2.2.7. | | |
| 3.04 BUILDING AREA (m²) | DESCRIPTION | EXISTING | NEW | TOTAL [A] 1.4.1.2 |
| | Existing Building | 305.60 | | 305.6 |
| | One Storey Additions to South, West and North East | | 278.20 | 278.2 |
| | TOTAL | 305.6 | 278.2 | 583.8 |
| 3.05 GROSS AREA (m²) | DESCRIPTION | EXISTING | NEW | TOTAL [A] 1.4.1.2 |
| | Ground Floor | 305.60 | | 305.6 |
| | Ground Floor Additions | | 278.20 | 278.2 |
| | Second Floor | 183.70 | | 183.7 |
| | Second Floor Addition | | 12.80 | 12.8 |
| | Third Floor | 109.50 | | 109.5 |
| | Third Floor Addition | | 87.00 | 87.0 |
| | TOTAL | 598.8 | 378.0 | 976.8 |
| 3.06 MEZZANINE AREA (m²) | DESCRIPTION | EXISTING | NEW | TOTAL 3.2.1.1. |
| | N/A | | | - |
| 3.07 BUILDING HEIGHT | 3 STOREYS ABOVE GRADE | (m) ABOVE GRADE | | [A] 1.4.1.2. & 3.2.1.1. |
| | 1 STOREYS BELOW GRADE | | | |
| 3.08 HIGH BUILDING | No | 3.2.6 | | |
| 3.09 NUMBER OF STREETS/ FIREFIGHTER ACCESS | 1 STREET(S) | | | 3.2.2.10. & 3.2.5. |
| 3.10 BUILDING CLASSIFICATION | 3.2.2.53. Group D, up to 3 Storeys | 3.2.2.20-83. | | |
| | 3.2.2.24. Group A, Division 2, up to 6 Storeys, Any Area, Sprinklered | | | |
| | 3.2.2.47 Group C, up to 3 Storeys | | | |
| 3.11 SPRINKLER SYSTEM | Required | PROVIDED: Selected Floor Areas | 3.2.1.5 & 3.2.2.17. | |
| | DESCRIBE | Entire Ground Floor including Kitchen | | |
| 3.12 STANDPIPE SYSTEM | Not Required 3.2.9. | | | |
| 3.13 FIRE ALARM SYSTEM | Required | TYPE PROVIDED: Single Stage | 3.2.4. | |
| 3.14 WATER SERVICE/ SUPPLY IS ADEQUATE | Yes | | | |
| 3.15 CONSTRUCTION TYPE | RESTRICTIONS | Combustible Permitted | 3.2.2.20-83. | |
| | ACTUAL | Combination HEAVY TIMBER CONSTRUCTION | N/A | 3.2.1.4. |
| 3.16 IMPORTANCE CATEGORY | Normal | | | 4.1.2.1.(3), 74.1.2.1.B. |
| 3.17 SEISMIC HAZARD INDEX (I _s , S, B _s) = | 0.21 Seismic Design Not Required for Table 4.1.8.18. Items 6 to 21 4.1.8.18.(1) | | | |
| 3.18 OCCUPANT LOAD | FLOOR LEVEL/AREA | OCCUPANCY TYPE | BASED ON | OCCUPANT LOAD (PERSONS) 3.1.17. |
| | Basement | D | Design of space | 18 |
| | Ground Floor | A2 | m² per person | 222 |
| | Second Floor | C | m² per person | 11 |
| | Third Floor | C | m² per person | 5 |
| | TOTAL | | | 256 |
| 3.19 BARRIER-FREE DESIGN | Yes | Ground Floor only | | 3.8. |
| 3.20 HAZARDOUS SUBSTANCES | No 3.3.1.2 & 3.3.1.9. | | | |
| 3.21 REQUIRED FIRE RESISTANCE RATINGS | HORIZONTAL ASSEMBLY | RATING (H) | SUPPORTING ASSEMBLY (H) | NONCOMBUSTIBLE IN LIEU OF RATING? 3.2.2.20-83. 3.2.1.4. |
| | FLOORS OVER BSMT | 1.00 | 1.00 | N/A |
| | FLOORS | 1.00 | 1.00 | N/A |
| | MEZZANINE | N/A | | N/A |
| | ROOF | N/A | | N/A |
| 3.22 SPATIAL SEPARATION | WALL | EBF AREA (m²) | L.D. (m) | % OF UNPROTECTED OPENINGS |
| | Ground Floor Walls | | 9.00 | 100.00 |
| | 2nd and 3rd Floors | | 11.00 | 100.00 |
| | | | | REQUIRED FRR (H) |
| | | | | CONSTRUCTION TYPE |
| | | | | CLADDING TYPE |
| | | | | 3.2.3. |
| 3.23 PLUMBING FIXTURE REQUIREMENTS | RATIO: MALE/FEMALE = 50/50 EXCEPT AS NOTED OTHERWISE 3.7.4. | | | |
| | FLOOR LEVEL/AREA | OCCUPANT LOAD | OBC SENTENCE | FIXTURES REQUIRED |
| | Basement Spa (D Occupancy) | 18 | 3.7.4.7.(1) | 2 |
| | Ground Floor Restaurant (A2 Occupancy) | 210 | 3.7.4.3.(4) | 6 |
| | Restaurant Staff | 12 | 3.7.4.3.(6) | 1 |
| | Hotel Suites (C Occupancy) | | 3.7.4.6.(1) | 5 |
| | | | | Each hotel suite served by private water closet |
| 3.24 ENERGY EFFICIENCY | COMPLIANCE PATH: Table SB5 5-5 | | | |
| | CLIMATIC ZONE: Zone 5 | | | |
| | 1 | | | |



| DATE | ISSUED FOR |
|------------|--------------------|
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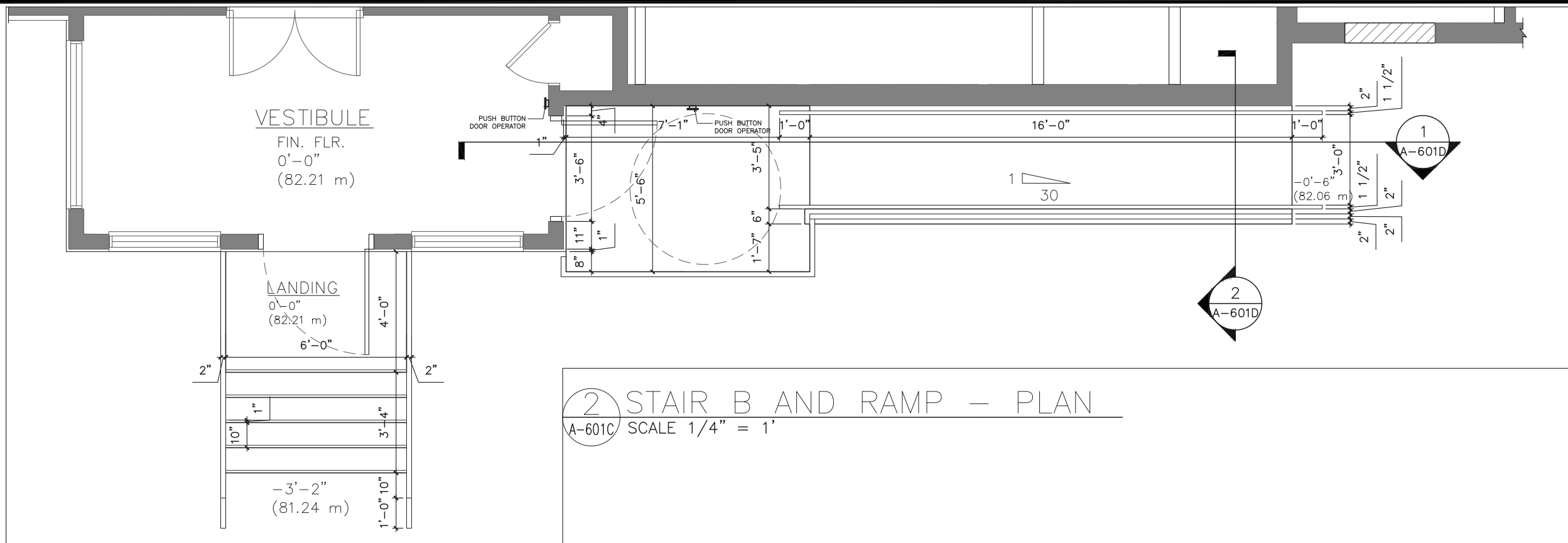
WELLINGTON HOTEL
192 MAIN STREET
WELLINGTON, ONTARIO

| | |
|--------------------|------------------------------|
| DRAWN BY D.Q. | DATE OF PLOT NOV. 19 2021 |
| CHECKED BY P.P. | SCALE N.T.S. |

DWG. TITLE
SITE PLAN STATS/O.B.C. MATRIX

PROJECT NO.
20-06

A-102



2 STAIR B AND RAMP - PLAN
 A-601C SCALE 1/4" = 1'



1 STAIR B AND RAMP - ELEVATION
 A-601C SCALE 1/4" = 1'