

DRAFT

AMENDMENT NO. XX
OFFICIAL PLAN

Cork and Vine Development- Phases 2A-4A
(Lanarose Developments Ltd.)

OPA No. XX

For the Municipality of the County of Prince Edward

April 2025

**AMENDMENT No. XX TO THE OFFICIAL PLAN
OF THE COUNTY OF PRINCE EDWARD**

The attached explanatory text, constituting Amendment No. XX to the Official Plan of the County of Prince Edward, was prepared by the Council of the Corporation of the County of Prince Edward under the provisions of Sections 17 and 21 of the Planning Act, R.S.O. 1990, Chapter P. 13, as amended.

The amendment was adopted by the Council of the Corporation of the County of Prince Edward by By-law No. _____ in accordance with Sections 17 and 21 of the Planning Act, R.S.O. 1990, Chapter P. 13, as amended, on the ____ day of ___, 2025.

Amendment No. XX is exempt from further approval by the Minister of Municipal Affairs and Housing pursuant to Section 17(9) of the Planning Act, R.S.O. 1990 and Ontario Regulation 525/97, amended to O. Reg. 45/01. The decision of the Council of the Corporation of the County of Prince Edward is final pursuant to Section 17(27) of the Planning Act, R.S.O. 1990, Chapter P. 13 if no appeals are received against Amendment No. XX within the time allowed for appeal, in accordance with the requirements of Section 17 of the Planning Act, R.S.O. 1990, Chapter P. 13.

Catalina Blumenberg, Clerk

Steve Ferguson, Mayor

THE CORPORATION OF THE COUNTY OF PRINCE EDWARD BY-LAW NO. _____

Being a By-law to adopt an Amendment to the Official Plan of the Corporation of the County of Prince Edward

WHEREAS AMENDMENT No. XX to the Official Plan of the County of Prince Edward has been considered and recommended for adoption by the County of Prince Edward Planning Committee;

AND WHEREAS a Public Meeting on the proposed amendment has been held pursuant to the requirements of Section 17 of the Planning Act, R.S.O. 1990, Chapter P. 13, as amended;

NOW THEREFORE the Council of the Corporation of the County of Prince Edward in accordance with the provisions of Section 17 and 21 of the Planning Act, R.S.O. 1990, Chapter P. 13, as amended, hereby enacts as follows:

1. **THAT AMENDMENT No. XX** to the Official Plan of the County of Prince Edward, consisting of the attached explanatory text and Schedule '1' is hereby adopted.
2. **THAT AMENDMENT No. XX** to the Official Plan of the County of Prince Edward, consisting of the attached explanatory text and Schedule '2' is hereby adopted.
2. **THAT AMENDMENT No. XX** to the Official Plan of the County of Prince Edward Planning Area is exempt from the approval of the Minister of Municipal Affairs and Housing pursuant to Section 17(19) of the Planning Act, R.S.O. 1990, Chapter P. 13, as amended, and Ontario Regulation 525/97, amended to O. Reg. 45/01.
3. **THAT AMENDMENT No. XX** will become final and take effect on the day after the last day for filing of appeals has passed provided that no appeals are received in accordance with the provisions of Section 17 of the Planning Act, R.S.O. 1990, Chapter P. 13, as amended.
4. **THIS BY-LAW** shall come into force and take effect on the day of final passing thereof.

THIS BY-LAW READ A FIRST, SECOND AND THRID TIME, AND FINALLY PASSED THIS _____ DAY OF _____, 2025.

Catalina Blumenberg, Clerk

Steve Ferguson, Mayor

AMENDMENT NO. XX

TO THE OFFICIAL PLAN

OF THE COUNTY OF PRINCE EDWARD

1. TITLE:

The following text constitutes Amendment No. XX to the Official Plan of the Corporation of the County of Prince Edward. The Official Plan was approved by the Minister of Municipal Affairs and Housing on July, 7, 2021, as further amended, and Wellington Urban Centre Secondary Plan, 2015.

2. PURPOSE AND EFFECT OF THE APPLICATION:

The **PURPOSE** of Amendment No. XX is to;

- Change the designation of the subject lands, within the Village of Wellington Secondary Plan, from Neighbourhood Development Area to permit a residential community including single detached dwellings, townhouse units, secondary suites, mixed-use apartment units, commercial uses, hotel, and other tourist commercial uses, and parks and open space areas.
- Amend Schedule B of the Wellington Urban Centre Secondary Plan to reflect the new road network, as shown on Schedule '2'.

The **EFFECT** of the amendment will be to:

- Allow the built-up area of the Village of Wellington to grow north of the Millennium Trail, bracketing Belleville Street, into an area designated by the Wellington Secondary Plan as Neighbourhood Development Area on Schedule A and Open Space, Village Residential on Schedule C-1, and amend Schedule B to reflect the new roads within this area.

3. LOCATION OF THE AFFECTED LANDS:

The land proposed to be developed is located in the northwest sector of the Village of Wellington. The subject lands are comprised of a total combined area of 89.59 hectares and a combined frontage of approximately 1331.48 metres along Belleville Street, 580.41 metres frontage along Millennium Trail west side of Belleville Street, and 188.20 metres along Millennium Trail east side of Belleville Street. The lands are irregular in shape. The subject lands are currently vacant.

4. LEGAL DESCRIPTION

The legal description of the lands is as follows:

LOT 191 AND PARTS OF LOTS 10, 195, 196, 196B, 188, 197 REGISTERED PLAN NO. 8 (VILLAGE OF WELLINGTON) MUNICIPALITY OF THE COUNTY OF PRINCE EDWARD MUNICIPALITY OF THE COUNTY OF PRINCE EDWARD

5. BASIS OF THE AMENDMENT:

A. EXISTING USES

The subject property is flat and primarily devoid of any significant vegetation.

B. PROPOSED USES:

The proposal contemplates the development of approximately 25 hectares for residential uses, and approximately 15.86 hectares for a mix of residential and commercial uses, with approximately 21 hectares for recreational/commercial uses that will serve as a natural extension of the existing Village.

C. OFFICIAL PLAN DESIGNATION:

The subject lands are presently designated as "Urban Centre" on Schedule "E", "Land Use Designations" of the County Official Plan, which was further amended by OPA 40. OPA 40 redesignates the subject property to Low, Medium, High-density Residential, and Open Space. The Secondary Plan designates the subject lands as "Neighborhood Development Area" on Schedule A, and "Village Residential and Open Space" on Schedule C-1.

D. SURROUNDING LAND USES:

- The surrounding lands on the north and west, and east sides are predominantly agricultural.
- Millennium Trail abuts the southern portion of the site, providing connections to as far as Trenton and Picton. Further south of the subject lands is a residential subdivision.

E. AGENCY AND PUBLIC COMMENTS:

Engineering, Development, and Works report dated XX, 2025, is provided as Attachment "XX" to this amendment.

A Public Meeting on the proposed Official Plan Amendment (OPA No. XX) was conducted by the County's Planning Public Council on XX, 2025. A complete list of all correspondence received on the Official Plan Amendment is provided as Attachment "XX" to this amendment.

In consideration of OPA No. XX, the County of Prince Edward gave due regard to all comments received prior to and during the Public Meeting, the purpose and intent of the Official Plan, and matters of Provincial interest.

At its meeting of _____, the County Council _____ a motion recommending the adoption of proposed OPA No. XX by County Council.

F. CONFORMITY TO POLICIES OF THE PROVINCIAL POLICY STATEMENT:

- Is consistent with the policies of the Provincial Policy Statement, as outlined in the submitted Planning Justification Report dated October 2022, and remains consistent with the updated Provincial Policy Statement released in 2024.

G. CONFORMITY TO POLICIES OF THE COUNTY OFFICIAL PLAN:

- Conforms to the policies of the County Official Plan and Secondary Plan, as per the submitted Planning Justification Report dated October 2022.

H. DETAILS OF THE AMENDMENT:

- a) Schedule 'A', Land Use Map of the Wellington Urban Centre Secondary Plan, is hereby amended, and Schedule 'C-1' (Policy Area 1: Country Club Estates of Wellington) is hereby removed. Both schedules are to be replaced with the attached Schedule 1.
- b) Section 2.4.1 'Village Residential Area' of the Wellington Urban Centre Secondary Plan is hereby amended to permit this designation on the subject lands on the north side of the north of Millennium Trail.
- c) Section 2.5 'Mix Use Areas' is hereby amended, and Section 2.5.3 'Belleville Gateway Area' is to be introduced as a new land use designation for the lands bracketing Belleville Street.
- d) The following shall apply to Belleville Gateway Area:
 - The permitted uses include, but are not limited to, a full range of residential uses, commercial retail, personal service, business service, office, medical and dental offices, arts and entertainment, workshops, restaurant, museum, library, tourism-related activities, private schools, and a diverse mix of complementary residential, commercial and community uses.
 - Higher-density residential and mixed uses are also permitted above street-level commercial uses. Intensification in the Belleville Gateway Area is encouraged, provided such development is consistent with the Urban Design Guidelines for the Cork and Vine Community, dated XX, 2025, as attached in Appendix 1.
 - Belleville Gateway Area use shall:
 - Permit standalone commercial plazas.
 - Permit a mix of higher-density residential unit types, including townhouse, stacked townhouse, and apartment. Secondary and accessory units shall also be permitted, as appropriate.
 - Encourage the development of mixed-use buildings in the Belleville Gateway Area. While the use of upper floors for residential purposes in new and existing buildings is encouraged.
- e) 'Park and Open Space' designation, mentioned in Policy 2.20.1 of the Wellington Urban Centre is hereby amended for the subject lands to permit golf course and associated clubhouse, hotels, outdoor amenities, stormwater management facilities designed to serve the project area as shown in Schedule 1.
- f) Limited employment uses may be permitted within the 'Park and Open Space' designation on the subject lands, subject to the results of a Land Use Compatibility Study and a Market Feasibility Study demonstrating that such uses are appropriate and feasible.
- g) Schedule 'B', Secondary Plan Transportation Map of the Wellington Urban Centre Secondary Plan, is hereby amended and to be replaced with the attached Schedule 2.

6. IMPLEMENTATION AND INTERPRETATION

- i. The Village of Wellington Secondary Plan, Schedule "A"— Secondary Plan Land Use Map and Schedule "C-1" — Secondary Plan Country Club Policy Area 1 Map are hereby further amended by redesignating the subject lands to 'Belleville Gateway Area', 'Village Residential', and 'Park and Open Space'.

DRAFT

Wellington Urban Centre

WELLINGTON

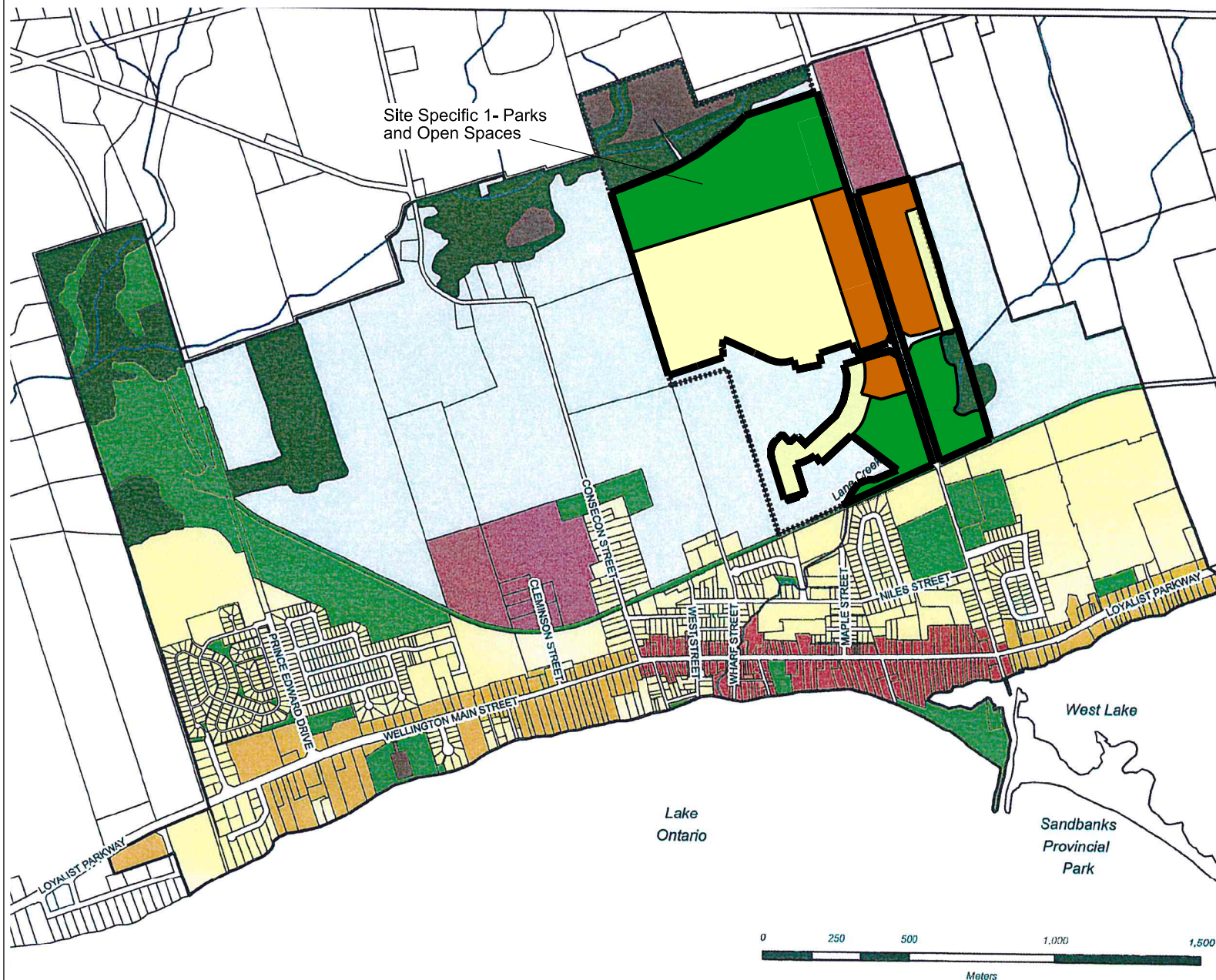
OFFICIAL PLAN AMENDMENT SCHEDULE 1

Legend

-  Planning Area Boundary
-  Belleville Gateway Area
-  Village Residential Area
-  Neighbourhood Development Area
-  Village Core Area
-  Village Corridor Area
-  Employment Area
-  Park and Open Space Area
-  Environmental Protection Area
-  Waste Management Area
-  Policy Area Boundary
-  Lands Subject to This Amendment

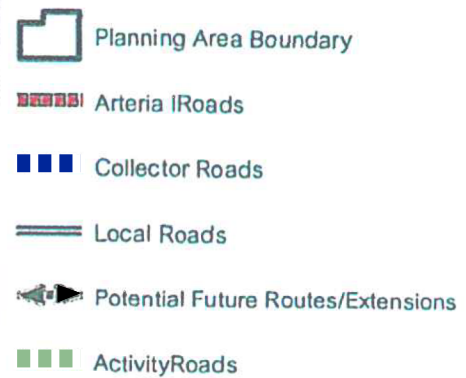
Site Description:

Phase 2A, 3A East, 3A South and 4A
Cork and Vine Community
Lot 191 and Parts of Lots 10, 188, 195,
196, 196B, and 197
Registered Plan No. 8
(Village of Wellington)
The County of Prince Edward



WELLINGTON

Legend



Prince Edward County
Quinte Conservation
Parcel Fabric as of July 2011

Universal Transverse Mercator (UTM)
North American Datum 1983 (NAD83)
Zone 18N

Date: November 2013
Prepared: IBI Group



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