

THE
BRIGHT
HOUSE

The Brighthouse Farm
1234 County Rd 2
Wellington, ON, K0K 3L0

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July 2, 2026

Planning Department
Corporation of the County of Prince Edward

Re: Submission of Complete Application – Site Plan Control

Dear Samantha Deck,

On behalf of The Brighthouse Collective Inc., please accept this submission in support of our Site Plan Control Application for the property municipally known as The Brighthouse Farm at 1234 County Road 2, Wellington, Ontario.

On March 13, 2020 Prince Edward County Council approved an Official Plan Amendment and Rezoning of The Brighthouse Farm. The property was rezoned to permit development in two land use precincts, the 'Events Precinct' and the "Accommodation Precinct".

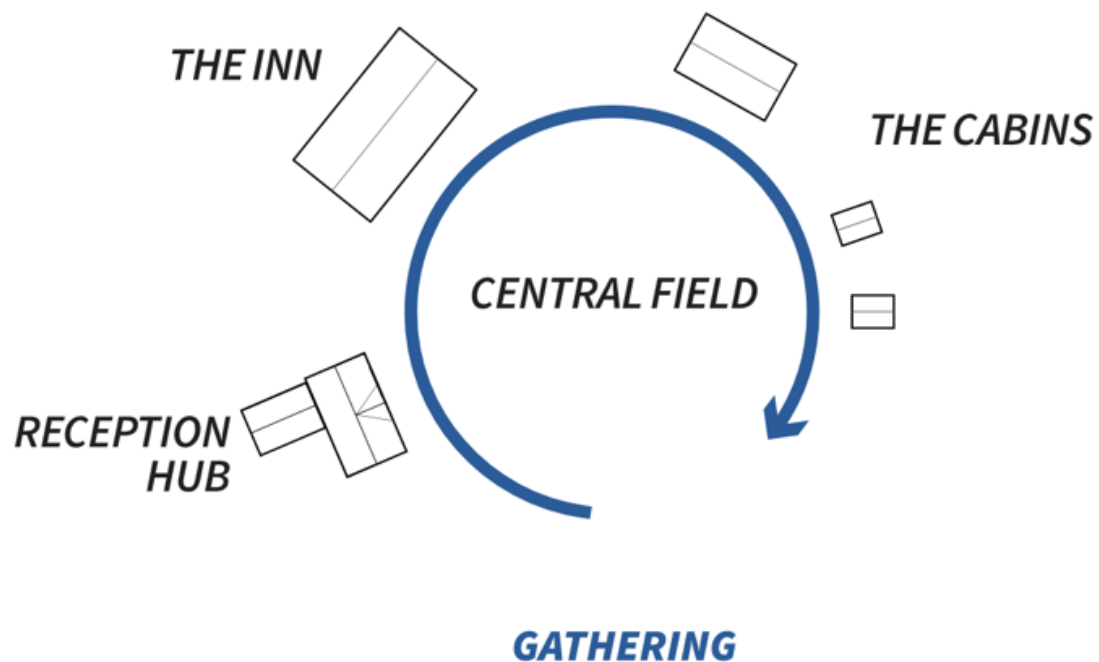
This current application relates to the **Accommodation Precinct**. The original OPA/ZBA submission proposed a preliminary concept for the accommodation precinct. The attached submission further refines that original concept.

The purpose of this submission is to provide the detailed plans, drawings and supporting technical documentation required for Site Plan approval.

1. Project Background

The accommodation precinct is intended to complement the existing barn venue, providing guests with private space for sleeping and additional space to gather. Architecturally, the family of buildings will feel unified yet varied. The proposed program includes:

- 10 cabins;
- An Inn with 6 guest rooms; and
- A multipurpose Reception Building.



(Parti Sketch, by ERA)

All accommodations have been designed to allow for flexibility in guest type and needs.

- There are three types of cabins:
 - Type A – single storey with single king bed.
 - Type A-BF – a barrier-free equivalent of Type A.
 - Type B – 2x queen beds, single story
- The 6 guest rooms at the inn have been designed to include dual frontage and two washrooms. This allows guests to share a room, while also allowing for some privacy.

The multipurpose Reception Building is designed to function as the accommodation precinct's "hub" – a social and visual anchor. It contains the hotel's reception, multipurpose rooms, a bar, catering prep kitchen, and wellness amenities. It overlooks the proposed outdoor pool.

The remainder of the site, outside of the development boundary, will be left as agricultural land.

2. Response to Pre-Consultation Comments

As identified in the County's September 30, 2025 Notice of Pre-Consultation, clarification was requested regarding the intent of the proposed accommodation area and whether the existing wedding venue would be relocated or if two venues were being proposed.

The existing wedding venue will remain in its current location and continue to operate as approved. The proposed Accommodation Precinct provides overnight accommodations and supporting guest amenities associated with the existing approved hospitality use on the property. No second wedding venue is proposed.

The accompanying plans illustrate the relationship between the existing Wedding Precinct and the proposed Accommodation Precinct.

3. Site Plan Submission Materials

In accordance with the County's **September 30, 2025 Notice of Pre-Consultation for Site Plan Control**, this submission includes:

- ✓ Completed Site Plan Control Application Form, application fee and deposit.
- ✓ Cover Letter.
- ✓ Overall Site Plan identifying the existing Wedding Precinct and proposed Accommodation Precinct.
- ✓ Detailed Site Plan showing:
 - Existing and proposed buildings with floor areas;
 - Fire route and turnaround (per By-law 3121-2012);
 - Parking areas;
 - Building locations;
 - Garbage storage;
 - Snow storage;
 - Building entrances;
 - Setbacks and dimensions; and Zoning Compliance Chart conforming with the RU3-62-H Zone
- ✓ Updated Survey
- ✓ Functional Servicing Report
- ✓ Stormwater Management Report
- ✓ Traffic Brief
- ✓ Floor Plans and Elevations
- ✓ Grading and Drainage Plan
- ✓ Servicing Plan with Utilities
- ✓ Lighting and Photometric Plan
- ✓ Landscape Plan with Planting Details
- ✓ Parcel Extract pages, PIN Map and Notice of Pre-Consultation

All materials have been prepared in accordance with the submission requirements identified by the County for a complete Site Plan Control Application.

4. Planning Compliance

The Brighthouse Farm continues to operate as a bona fide farming operation, consistent with OPA7-2019 (OPA #82) and Zoning By-law Amendment Z67-19. The arable lands remain in active agricultural production, including the cultivation of wildflowers and cash crops, reinforcing the agricultural character of the site.

- The proposed accommodations qualify as on-farm diversified uses under the Provincial Policy Statement. They are:
 - Secondary to the primary agricultural use
 - Occupying no more than 2% of the property (including cultivated and EP areas) on which the uses are located, to a maximum of 1 ha;
 - Within the limits of the gross floor area of buildings used for *on-farm diversified uses* (20% of the above 2%).
 - Designed to minimize land removed from production

This approach ensures that agriculture remains the primary use of the property while enabling compatible rural economic diversification.

The enclosed plans and supporting technical reports demonstrate compliance with the applicable planning framework, zoning standards, servicing requirements and technical design criteria required to support Site Plan approval. We trust the enclosed materials provide the information necessary to facilitate the County's review. Should any additional clarification or supporting information be required, we would be pleased to provide it.

Warm regards,

Jessica & Natalie Schnurr
The Brighthouse Collective Inc.